

# 3400 DUFFERIN STREET

# **APPLICATION FOR ZONING BY-LAW AMENDMENT**

# **PROJECT TEAM**

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**STRUCTURAL** TBD

**MECHANICAL & ELECTRICAL** TBD

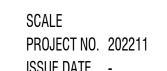
## **ARCHITECTURAL SHEET LIST**

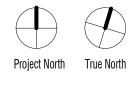
**Current Revision** 

Sheet	Drawing Name
A000 PROJECT INFORM	ATION
A000	COVER SHEET
A001	STATISTICS
A100 SITE	
A100	CONTEXT PLAN
A100a	PERSPECTIVES
A100b	PERSPECTIVES
A100c	PERSPECTIVES
A100d	PERSPECTIVES
A100e	MASSING VIEW
A101	SURVEY
A102	ROOF PLAN
A103	GROUND FLOOR SITE PLAN
A104	LEVEL P2 FLOOR PLAN
A105	LEVEL P1 FLOOR PLAN
A200 PLANS	
A200	LEVEL 1 FLOOR PLAN
A201	LEVEL 2 FLOOR PLAN
A202	LEVEL 3 FLOOR PLAN
A203	LEVEL 4 FLOOR PLAN
A204	LEVEL 5 FLOOR PLAN
A205	LEVEL 6 FLOOR PLAN
A206	LEVEL 7 FLOOR PLAN
A208	LEVEL 9 FLOOR PLAN
A209	LEVEL 10 FLOOR PLAN
A210	LEVEL 11-29 FLOOR PLAN
A300 ELEVATIONS	
A300	SITE ELEVATIONS
A301	SITE ELEVATIONS
A302	BUILDING A ELEVATIONS
A303	BUILDING B ELEVATIONS
A304	BUILDING C ELEVATIONS
A305	BUILDING B EAST DETAIL ELEVATION
A306	BUILDING C EAST DETAIL ELEVATION
A307	BUILDING A SOUTH DETAIL ELEVATIO
A308	BUILDING B SOUTH DETAIL ELEVATIO
A309	BUILDING A BIRD FRIENDLY DIAGRAM
A310	BUILDING B BIRD FRIENDLY DIAGRAM
A311	BUILDING C BIRD FRIENDLY DIAGRAN
A400 SECTIONS	
A400	SITE SECTIONS
A401 A402	SITE SECTIONS SITE SECTIONS
A600 SHADOW STUDIES	
A601	Shadow Studies - Mar./Sept.
A602	SHADOW STUDIES - MAR./SEPT.
A603	SHADOW STUDIES JUNE
A604	SHADOW STUDIES JUNE
A605	SHADOW STUDIES DEC.
A606	SHADOW STUDIES DEC.
A1000 ZBA 569-2013 AF	REA PLANS
A1000	ZBA 569-2013 AREA PLANS
A1001	ZBA 569-2013 AREA PLANS

# A000

ISSUE DATE -\_\_\_\_\_ **COVER SHEET** 





TORONTO \_\_\_\_\_

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gh3



1 Aug. 09. 2022 ISSUE FOR ZBA & SPA Rev. Date Issued

**GROSS SITE AREA:** 16,680m<sup>2</sup> TOTAL GFA: 60,818m<sup>2</sup> **FSI:** 3.65 NEW RESIDENTIAL UNITS: 834

PART B - BUILDING A SITE AREA: 4,046 m<sup>2</sup>

**GFA:** 27,843 m<sup>2</sup> **FSI:** 6.9 NEW RESIDENTIAL UNITS: 388 NEW RESIDENTIAL UNITS: 371 NEW RESIDENTIAL UNITS: 75

PART D - BUILDING B SITE AREA: 4,079 m<sup>2</sup> **GFA:** 26,967 m<sup>2</sup> FSI: 6.6

PART E - BUILDING C SITE AREA: 1,811 m<sup>2</sup> **GFA:** 5,739 m<sup>2</sup> **FSI:** 3.1

2.0 BUILDING HEIGHTS

ESTABLISHED GRADE = 189.94m

PART B - BUILDING A FFE OF RESI LOBBY: 189.9m

BUILDING HEIGHT: 97.5m BUILDING HEIGHT RELATIVE TO ESTABLISHED GRADE: 97.46m

3.0 FLOOR AREA

*GFA calculated per Area Plans, A1000 - A1001

	2.2 FLOOR AREA															
					CGA							GFA			Δm	enity
Level	# of Levels	GCA/Level (m <sup>2</sup> )	Total CGA (m²)	GCA (sf)	Residential GCA (m2)	Residential GCA (sf)	Loading GCA (m2)	Parking GCA (m2)	GFA Deductions (m2)	Total GFA (SF)	Total GFA (m2)		Non-Resi / Retail GFA (m2)	Leasable (m2)	Indoor Amenity (m2)	Outdoor Amenity (m2)
BELOW GRADE																
P2	1	8672 m <sup>2</sup>	8672 m <sup>2</sup>	93346 SF	8672 m <sup>2</sup>	93346 SF	0 m <sup>2</sup>	8672 m <sup>2</sup>	8560 m <sup>2</sup>	1212 SF	113 m <sup>2</sup>	113 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
P1	1	8600 m <sup>2</sup>	8600 m <sup>2</sup>	92573 SF	8600 m <sup>2</sup>	92573 SF	0 m <sup>2</sup>	8600 m <sup>2</sup>	8445 m <sup>2</sup>	1675 SF	156 m <sup>2</sup>	156 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
BELOW GRADE TO	TAL	2	17272 m <sup>2</sup>	185919 SF	17272 m <sup>2</sup>	185919 SF	0 m²	17272 m <sup>2</sup>	17004 m <sup>2</sup>	2887 SF	268 m <sup>2</sup>	<b>268 m</b> <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
BUILDING A																
Level 1	1	2512 m <sup>2</sup>	2422 m <sup>2</sup>	26067 SF	2422 m <sup>2</sup>	26067 SF	368 m <sup>2</sup>	0 m <sup>2</sup>	826 m <sup>2</sup>	17176 SF	1596 m <sup>2</sup>	1596 m <sup>2</sup>	0 m <sup>2</sup>	1079 m <sup>2</sup>	232 m <sup>2</sup>	0 m <sup>2</sup>
Level 2	1	2478 m <sup>2</sup>	2170 m <sup>2</sup>	23355 SF	2170 m <sup>2</sup>	23355 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	80 m <sup>2</sup>	22499 SF	2090 m <sup>2</sup>	2090 m <sup>2</sup>	0 m <sup>2</sup>	1894 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 3	1	2478 m <sup>2</sup>	2170 m <sup>2</sup>	23355 SF	2170 m <sup>2</sup>	23355 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	245 m <sup>2</sup>	20719 SF	1925 m <sup>2</sup>	1925 m <sup>2</sup>	0 m <sup>2</sup>	1894 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 4	1	2478 m <sup>2</sup>	2170 m <sup>2</sup>	23355 SF	2170 m <sup>2</sup>	23355 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	80 m <sup>2</sup>	22499 SF	2090 m <sup>2</sup>	2090 m <sup>2</sup>	0 m <sup>2</sup>	1894 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 5	1	2289 m <sup>2</sup>	2073 m <sup>2</sup>	22313 SF	2073 m <sup>2</sup>	22313 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	80 m <sup>2</sup>	21456 SF	1993 m <sup>2</sup>	1993 m <sup>2</sup>	0 m <sup>2</sup>	1797 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 6	1	2289 m <sup>2</sup>	2073 m <sup>2</sup>	22313 SF	2073 m <sup>2</sup>	22313 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	80 m <sup>2</sup>	21456 SF	1993 m <sup>2</sup>	1993 m <sup>2</sup>	0 m <sup>2</sup>	1797 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 7	1	1307 m <sup>2</sup>	1250 m <sup>2</sup>	13452 SF	1250 m <sup>2</sup>	13452 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	330 m <sup>2</sup>	9901 SF	920 m <sup>2</sup>	920 m <sup>2</sup>	0 m <sup>2</sup>	835 m <sup>2</sup>	295 m <sup>2</sup>	564 m <sup>2</sup>
Level 8	1	1034 m <sup>2</sup>	986 m <sup>2</sup>	10611 SF	986 m <sup>2</sup>	10611 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	330 m <sup>2</sup>	7058 SF	656 m <sup>2</sup>	656 m <sup>2</sup>	0 m <sup>2</sup>	599 m <sup>2</sup>	260 m <sup>2</sup>	224 m <sup>2</sup>
Level 9	1	794 m <sup>2</sup>	746 m <sup>2</sup>	8035 SF	746 m <sup>2</sup>	8035 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	50 m <sup>2</sup>	7495 SF	696 m <sup>2</sup>	696 m <sup>2</sup>	0 m <sup>2</sup>	701 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 10	1	794 m <sup>2</sup>	746 m <sup>2</sup>	8035 SF	746 m <sup>2</sup>	8035 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	93 m <sup>2</sup>	7035 SF	654 m <sup>2</sup>	654 m <sup>2</sup>	0 m <sup>2</sup>	701 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 11-29	19	794 m <sup>2</sup>	14183 m <sup>2</sup>	152664 SF	14183 m <sup>2</sup>	152664 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	953 m <sup>2</sup>	142408 SF	13230 m <sup>2</sup>	13230 m <sup>2</sup>	0 m <sup>2</sup>	13327 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
BUILDING A TOTA		2	30988 m <sup>2</sup>	333556 SF	30988 m <sup>2</sup>	333556 SF	368 m <sup>2</sup>	0 m <sup>2</sup>	3145 m <sup>2</sup>	299703 SF	27843 m <sup>2</sup>	27843 m <sup>2</sup>	0 m <sup>2</sup>	26519 m <sup>2</sup>	787 m <sup>2</sup>	789 m <sup>2</sup>
BUILDING B	4	2352 m <sup>2</sup>	2352 m <sup>2</sup>	25316 SF	1118 m <sup>2</sup>	12033 SF	363 m <sup>2</sup>	0 m <sup>2</sup>	688 m <sup>2</sup>	17907 SF	1664 m <sup>2</sup>	586 m <sup>2</sup>	1078 m <sup>2</sup>	1287 m <sup>2</sup>	156 m <sup>2</sup>	0 m <sup>2</sup>
	1	1693 m <sup>2</sup>	1558 m <sup>2</sup>	16772 SF	1558 m <sup>2</sup>	16772 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	84 m <sup>2</sup>	15864 SF	1474 m <sup>2</sup>	1474 m <sup>2</sup>	0 m <sup>2</sup>	1207 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 2	4			21205 SF	1970 m <sup>2</sup>		0 m²	0 m <sup>2</sup>	79 m <sup>2</sup>	20351 SF			0 m <sup>2</sup>		0 m <sup>2</sup>	0 m <sup>2</sup>
Level 3	1	2218 m <sup>2</sup>	1970 m <sup>2</sup>			21205 SF					1891 m <sup>2</sup>	1891 m <sup>2</sup>		2108 m <sup>2</sup>		
Level 4	4	2374 m <sup>2</sup>	2126 m <sup>2</sup>	22882 SF	2126 m <sup>2</sup>	22882 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	79 m <sup>2</sup>	22028 SF	2046 m <sup>2</sup>	2046 m <sup>2</sup>	0 m <sup>2</sup>	2108 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 5	1	2155 m <sup>2</sup>	1977 m <sup>2</sup>	21281 SF	1977 m <sup>2</sup>	21281 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	79 m <sup>2</sup>	20428 SF	1898 m <sup>2</sup>	1898 m <sup>2</sup>	0 m <sup>2</sup>	1888 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 6		2155 m <sup>2</sup>	1977 m <sup>2</sup>	21281 SF	1977 m <sup>2</sup>	21281 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	79 m <sup>2</sup>	20428 SF	1898 m <sup>2</sup>	1898 m <sup>2</sup>	0 m <sup>2</sup>	1888 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 7		1322 m <sup>2</sup>	1265 m <sup>2</sup>	13618 SF	945 m <sup>2</sup>	10177 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	399 m <sup>2</sup>	9323 SF	866 m <sup>2</sup>	866 m <sup>2</sup>	0 m <sup>2</sup>	825 m <sup>2</sup>	320 m <sup>2</sup>	540 m <sup>2</sup>
Level 8	1	1031 m <sup>2</sup>	983 m <sup>2</sup>	10585 SF	713 m <sup>2</sup>	7674 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	391 m <sup>2</sup>	6373 SF	592 m <sup>2</sup>	592 m <sup>2</sup>	0 m <sup>2</sup>	640 m <sup>2</sup>	270 m <sup>2</sup>	231 m <sup>2</sup>
Level 9	1	794 m <sup>2</sup>	747 m <sup>2</sup>	8036 SF	747 m <sup>2</sup>	8036 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	49 m <sup>2</sup>	7504 SF	697 m <sup>2</sup>	697 m <sup>2</sup>	0 m <sup>2</sup>	702 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 10	1	794 m <sup>2</sup>	747 m <sup>2</sup>	8036 SF	747 m <sup>2</sup>	8036 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	49 m <sup>2</sup>	7504 SF	697 m <sup>2</sup>	697 m <sup>2</sup>	0 m <sup>2</sup>	702 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 11-29	19	794 m <sup>2</sup>	14184 m <sup>2</sup>	152677 SF	14184 m <sup>2</sup>	152677 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	939 m <sup>2</sup>	142567 SF	13245 m <sup>2</sup>	13245 m <sup>2</sup>	0 m <sup>2</sup>	13331 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
BUILDING B TOTA	L	2	29886 m <sup>2</sup>	321688 SF	28062 m <sup>2</sup>	302054 SF	363 m <sup>2</sup>	0 m <sup>2</sup>	2918 m <sup>2</sup>	290275 SF	26967 m <sup>2</sup>	25890 m <sup>2</sup>	1078 m <sup>2</sup>	26920 m <sup>2</sup>	746 m <sup>2</sup>	770 m <sup>2</sup>
BUILDING C						1		1			1	I	1	1		1
Level 1	1	1035 m <sup>2</sup>	1035 m <sup>2</sup>	11145 SF	312 m <sup>2</sup>	3363 SF	435 m <sup>2</sup>	10 m <sup>2</sup>	611 m <sup>2</sup>	4564 SF	424 m <sup>2</sup>	136 m <sup>2</sup>	288 m <sup>2</sup>	288 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 2	1	973 m <sup>2</sup>	973 m <sup>2</sup>	10477 SF	973 m <sup>2</sup>	10477 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	10023 SF	931 m <sup>2</sup>	931 m <sup>2</sup>	0 m <sup>2</sup>	786 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 3	1	973 m <sup>2</sup>	973 m <sup>2</sup>	10477 SF	973 m <sup>2</sup>	10477 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	10023 SF	931 m <sup>2</sup>	931 m <sup>2</sup>	0 m <sup>2</sup>	786 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 4	1	826 m <sup>2</sup>	826 m <sup>2</sup>	8894 SF	826 m <sup>2</sup>	8894 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	8440 SF	784 m <sup>2</sup>	784 m <sup>2</sup>	0 m <sup>2</sup>	668 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 5	1	826 m <sup>2</sup>	826 m <sup>2</sup>	8894 SF	826 m <sup>2</sup>	8894 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	8440 SF	784 m <sup>2</sup>	784 m <sup>2</sup>	0 m <sup>2</sup>	668 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 6	1	826 m <sup>2</sup>	826 m <sup>2</sup>	8894 SF	759 m <sup>2</sup>	8168 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	110 m <sup>2</sup>	7714 SF	717 m <sup>2</sup>	717 m <sup>2</sup>	0 m <sup>2</sup>	668 m <sup>2</sup>	67 m <sup>2</sup>	0 m <sup>2</sup>
Level 7	1	618 m <sup>2</sup>	473 m <sup>2</sup>	5088 SF	348 m <sup>2</sup>	3742 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	167 m <sup>2</sup>	3291 SF	306 m <sup>2</sup>	306 m <sup>2</sup>	0 m <sup>2</sup>	419 m <sup>2</sup>	125 m <sup>2</sup>	189 m <sup>2</sup>
Level 8	1	473 m <sup>2</sup>	473 m <sup>2</sup>	5088 SF	473 m <sup>2</sup>	5088 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	4637 SF	431 m <sup>2</sup>	431 m <sup>2</sup>	0 m <sup>2</sup>	398 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 9	1	473 m <sup>2</sup>	473 m <sup>2</sup>	5088 SF	473 m <sup>2</sup>	5088 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	42 m <sup>2</sup>	4637 SF	431 m <sup>2</sup>	431 m <sup>2</sup>	0 m <sup>2</sup>	398 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
Level 10	1	170 m <sup>2</sup>	170 m <sup>2</sup>	1826 SF	0 m <sup>2</sup>	0 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	170 m <sup>2</sup>	0 SF	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>	0 m <sup>2</sup>
BUILDING C TOTA	L		7049 m <sup>2</sup>	75871 SF	5963 m <sup>2</sup>	64190 SF	435 m <sup>2</sup>	10 m <sup>2</sup>	1310 m <sup>2</sup>	61771 SF	5739 m <sup>2</sup>	5451 m²	<b>288</b> m <sup>2</sup>	5081 m <sup>2</sup>	193 m <sup>2</sup>	189 m <sup>2</sup>
GRAND TOTAL		61398 m²	85195 m²	917035 SF	82286 m <sup>2</sup>	885720 SF	1166 m <sup>2</sup>	17282 m <sup>2</sup>	24378 m <sup>2</sup>	654637 SF	60818 m²	59452 m <sup>2</sup>	1366 m <sup>2</sup>	58519 m <sup>2</sup>	1726 m <sup>2</sup>	1748 m <sup>2</sup>

#### 4.0 AMENITY

4.1 AMENITY									
Total Units		Amenity							
TOTAL OTHES	Outdoor	Outdoor / Unit	Indoor	Indoor / Unit					
<b>BUILDING A</b>									
388	789 m <sup>2</sup>		787 m <sup>2</sup>						
<b>BUILDING B</b>									
373	770 m <sup>2</sup>		746 m <sup>2</sup>						
BUILDING C									
75	189 m <sup>2</sup>		193 m <sup>2</sup>						

#### 5.0 PARKING

			5.1 CAR I	PARKING				
	Reside	ential Car F	Parking	Visi	tor Car Par	king		
Level	Regular	BF	Total	Regular	BF	Total	Total Car Parking	
BUILDING A								
P1	36	0	36	36	3	39	75	
P2	89	6	95	0	0	0	95	
	125	6	131	36	3	39	170	
<b>BUILDING B</b>								
P1	35	0	35	35	2	37	72	
P2	86	6	92	0	0	0	92	
	121	6	127	35	2	37	164	
BUILDING C								
P1	15	0	15	0	1	1	16	
P2	26	1	27	0	0	0	27	
	41	1	42	0	1	1	43	
TOTAL	287	13	300	71	6	77	377	

	5.2 BICYCL	E PARKING	
	Bicycle	Parking	Total Bicycle
Level	Long-Term	Short-Term	Parking
<b>BUILDING A</b>			
P1	162	0	162
Level 1	134	28	162
	296	28	324
BUILDING B			
P1	152	0	152
Level 1	108	28	136
	260	28	288
<b>BUILDING C</b>			
Level 1	52	6	58
	52	6	58
GRAND TOTAL	608	62	670
<b>D' I D I' -</b>			
Bicycle Parking F	lates		

0.9 Long-Term Parking Spaces per Unit
0.1 Short-term Parking spaces per Unit

6.0 STORAGE
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7.0 LOADING
-------------

	7.1 LOADING
Count	Туре
BUILDING A	
1	TYPE G LOADING
1	TYPE C LOADING
BUILDING B	
1	TYPE G LOADING
1	TYPE B LOADING
BUILDING C	
1	TYPE C LOADING

	8.0	W
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#### PART D - BUILDING B FFE OF RESI LOBBY: 190.2m

#### BUILDING HEIGHT: 97.5m

BUILDING HEIGHT RELATIVE TO ESTABLISHED GRADE: 97.76m

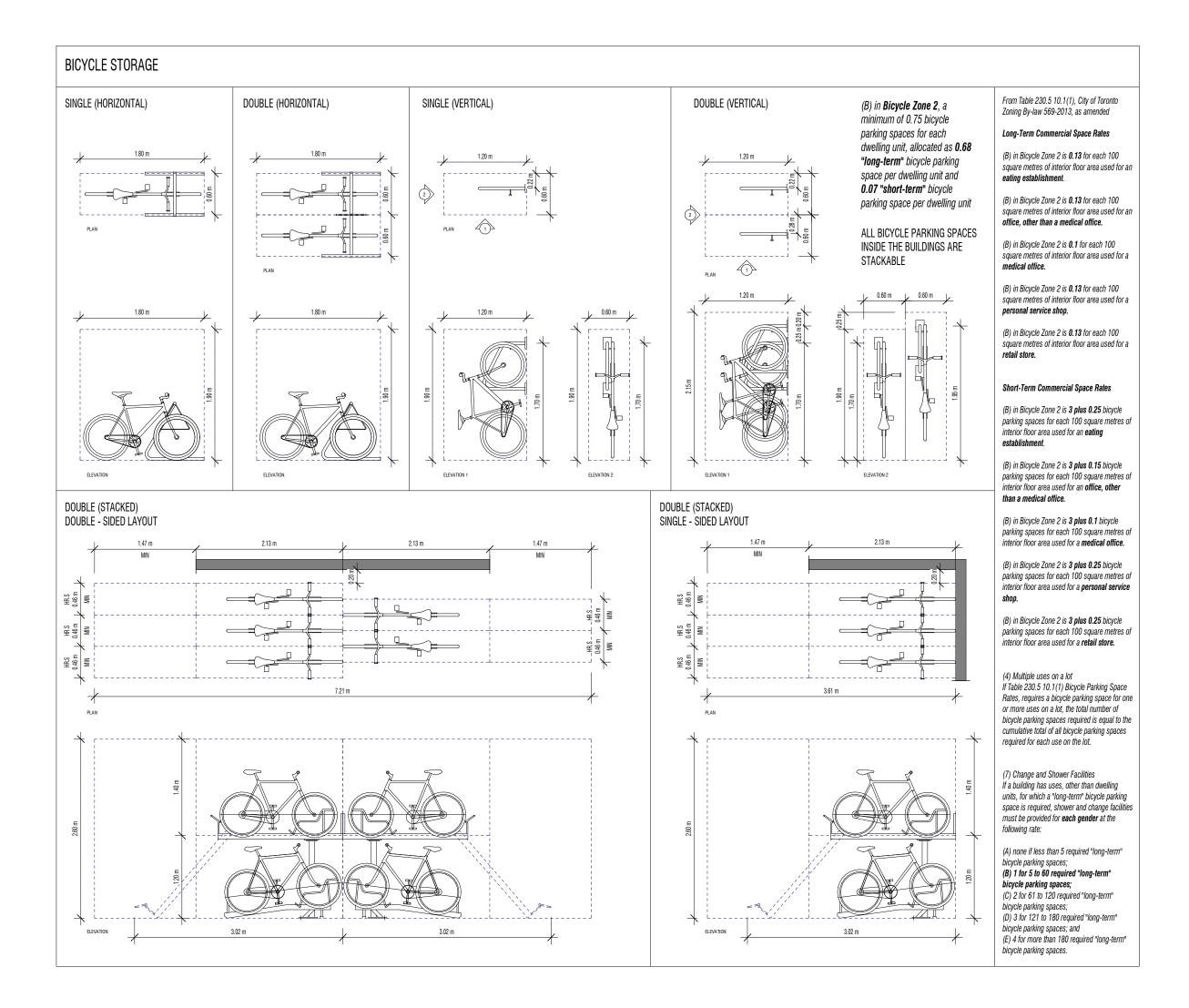
#### PART E - BUILDING C FFE OF RESI LOBBY: 190.1m

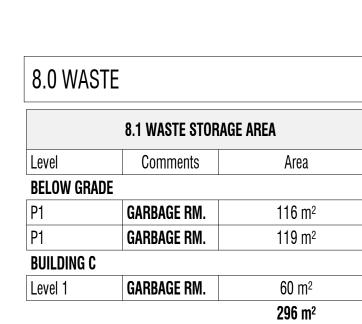
BUILDING HEIGHT: 36.3m BUILDING HEIGHT RELATIVE TO ESTABLISHED GRADE: 36.46m

> 1B Level **BELOW GRADE** 0 0 BELOW GRADE TOTAL 0 **BUILDING A** Level 1 5 Level 2 7 Level 3 Level 4 Level 5 Level 6 Level 7 Level 8 Level 9 8 8 6 0 0 0 Level 10 0 Level 11-29 **BUILDING A TOTAL** 41 **BUILDING B** Level 1 Level 2 Level 3 Level 4 Level 5 Level 6 Level 7 Level 8 Level 9 10 11 12 12 0 Level 10 Level 11-29 0 **BUILDING B TOTAL** 57 **BUILDING C** Level 1 Level 2 Level 3 Level 4 Level 5 Level 6 Level 7 Level 8 Level 9 0 0 Level 10 0



98





l	JNIT COUN	Total			
1B+D	2B	2B+D	3B	Units/Floor	Total Units
0	0	0	0	0	0
0	0	0	0	0	0
0	0	0	0	0	0
4	7	0	2	18	18
7	11	0	3	28	28
7	11	0	3	28	28
6	11	0	3	28	28
6	10	0	3	27	27
6	12	0	3	27	27
8	2	0	2	12	12
8	2	0	0	10	10
6	2	1	1	10	10
6	2	1	1	10	10
114	38	19	19	10	190
178	108	21	40	208	388
1	0	0	0	4	4
5	4	0	3	21	21
6	9	0	4	29	29
5	9	0	4	29	29
4	10	0	2	28	28
4	10	0	2	28	28
8	2	0	2	12	12
8	2	0	0	10	10
6	2	1	1	10	10
6	2	1	1	10	10
114	38	19	19	10	190
167	88	21	38	191	371
0	0	0	0	0	0
9	3	0	1	13	13
9	3	0	1	13	13
7	3	0	1	11	11
7	3	0	1	11	11
7	3	0	1	11	11
2	1	0	1	4	4
3	2	0	1	6	6
3	2	0	1	6	6
0	0	0	0	0	0
47	20	0	8	75	75

# Toronto Green Standard Version 4.0 Tier 1

**General Project Description** SITE AREA TOTAL GROSS FLOOR AREA

RESIDENTIAL RETAIL COMMERCIAL TOTAL NUMBER OF RESIDENTIAL UNITS

Automobile Infrastructure	Required	Proposed	Percentage
NUMBER OF PARKING SPACES		377	
NUMBER OF EV PARKING SPACES (RESIDENTIAL)	321	321	100.0%
NUMBER OF EV PARKING SPACES (NON-RESIDENTIAL)	0	0	
Cycle Infrastructure	Required	Proposed	Percentage
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (ALL-USES)	569	608	107.0%
NUMBER OF LONG-TERM BICYCLE PARKING LOCATED ON:			
A) FIRST STORY OF BUILDING		294	
B) SECOND STOREY OF BUILDING		0	
C) FIRST LEVEL BELOW-GROUND		314	
D) SECOND LEVEL BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPIED BY BICYCLE PARKING)		0	
E) OTHER LEVELS BELOW-GROUND (ALSO INDICATE % OF NET AREA OF LEVEL OCCUPIED BY BICYCLE PARKING)		0	
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES	60	62	103.3%
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (NON-RESIDENTIAL)	N/A	N/A	N/A
Tree Canopy	Required	Proposed	Percentage
TOTAL SOIL VOLUME (40% OF THE SITE AREA / 66m2 X 30m3)	3,032.7 m <sup>3</sup>	3,104.8 m <sup>3</sup>	102.4%
SOIL VOLUME PROVIDED WITHIN THE SITE AREA (m3)		1,467 m <sup>3</sup>	47.2%
SOIL VOLUME PROVIDED WITHIN THE PUBLIC BOULEVARD (m3)		1,638 m <sup>3</sup>	52.8%

Section 2: For Site Plan Control Applications

Cycle Infrastructure	Required	Proposed	Percentage	
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (ALL USES) AT GRADE OR ON FIRST LEVEL BELOW GRADE	62	62	100%	
NUMBER OF PUBLICLY ACCESSIBLE BICYCLE PARKING SPACE	N/A	N/A	N/A	
NUMBER OF ENERGIZED OUTLETS FOR ELECTRIC BICYCLES	86	88	102.3%	
Tree Canopy	Required	Proposed	Percentage	
TOTAL SITE AREA (m2)		16,680 m <sup>2</sup>		
TOTAL SOIL VOLUME (40% OF THE SITE AREA / 66m2 X 30m3)	3,032.7 m <sup>3</sup>	3,104.8 m <sup>3</sup>	102.4%	
TOTAL NUMBER OF TREES PLANTED		101		
NUMBER OF SURFACE PARKING SPACES (IF APPLICABLE)		0		
NUMBER OF SHADE TREES LOCATED IN SURFACE PARKING AREA		N/A		
Landscaping & Biodiversity	Required	Proposed	Percentage	
TOTAL NON-ROOF HARDSCAPE AREA (m2)		4,584.1 m <sup>2</sup>		
TOTAL NON-ROOF HARDSCAPE AREA TREATED FOR URBAN HEAT ISLAND (MINIMUM RESIDENTIAL 75% OR NON-RESIDENTIAL 50%) (m2)	4,584.1 m <sup>2</sup>	100%		
AREA OF NON-ROOF HARDSCAPE TREATED WITH: (INDICATE m2))				
A) HIGH-ALBEDO SURFACE MATERIAL		4,584.1 m <sup>2</sup>	100%	
B) OPEN-GRID PAVEMENT		0 m <sup>2</sup>	0%	
C) SHADE FROM TREE CANOPY		0 m <sup>2</sup>	0%	
D) SHADE FROM HIGH-ALBEDO STRUCTURES		0 m <sup>2</sup>	0%	
E) SHADE FROM ENERGY GENERATION STRUCTURES		0 m <sup>2</sup>	0%	
TOTAL NUMBER OF PLANTS		7410		
TOTAL NUMBER OF NATIVE PLATNS AND % OF TOTAL PLANTS	3705	7410	100%	
AVAILABLE ROOF SPACE (m2)		4,140 m <sup>2</sup>		
AVAILABLE ROOF SPACE PROVIDED AS GREEN ROOF (m2)			59.8%	
AVAILABLE ROOF SPACE PROVIDED AS COOL ROOF (m2)		0	0%	
VAILABLE ROOF SPACE PROVIDED AS SOLAR PANELS (m2)		0	0%	
BIRD COLLISION DETERRENCE	Required	Proposed	Percentage	
TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 16m ABOVE GRADE		4,339 m <sup>2</sup>		
TOTAL AREA OF TREATED GLAZING (MINIMUM 85% OF TOTAL AREA OF GLAZING WITHIN 16m ABOVE GRADE) (m2)	3,689 m <sup>2</sup>	3,955 m <sup>2</sup>	107.2%	
PERCENTAGE OF GLAZING WITHIN 16M ABOVE GRADE TREATED WITH:			91.1%	
A) VISUAL MARKERS		2,912 m <sup>2</sup>	67.1%	
B) NON-REFLECTIVE GLASS		316 m <sup>2</sup>	7.3%	
C) BUILDING INTEGRATED STRUCTURES		726 m <sup>2</sup>	16.7%	

16,680 m <sup>2</sup>
60,818 m <sup>2</sup>
59,452 m <sup>2</sup>
1,366 m <sup>2</sup>
834

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#### gh3

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SCALE As indicated PROJECT NO. 202211 ISSUE DATE -

STATISTICS



PROPERTY PARTS					
PARTS	AREA	COMMENTS			
А	1825 m <sup>2</sup>	CONVEYANCE			
В	4046 m <sup>2</sup>	BUILDING A			
С	1049 m <sup>2</sup>	CONVEYANCE			
D	4079 m <sup>2</sup>	BUILDING B			
Е	1811 m <sup>2</sup>	BUILDING C			
F	3870 m <sup>2</sup>	CONVEYANCE			
	16680 m <sup>2</sup>	·			

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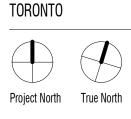
**CONTEXT PLAN** 





#### A100a

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required to perform the Work and will report any discrepancies with the Contract Documents to the

greater shall apply.
3. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on

the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.

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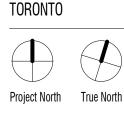






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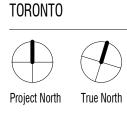






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including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultants' documents with

respect to the quantity, sizes or scope of work, the

greater shall apply.
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Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.

5. The architect has not been retained for supervision of construction and assumes no responsibility for

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purpose.

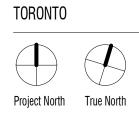
Architect before commencing work. 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents



# A100d

PERSPECTIVES

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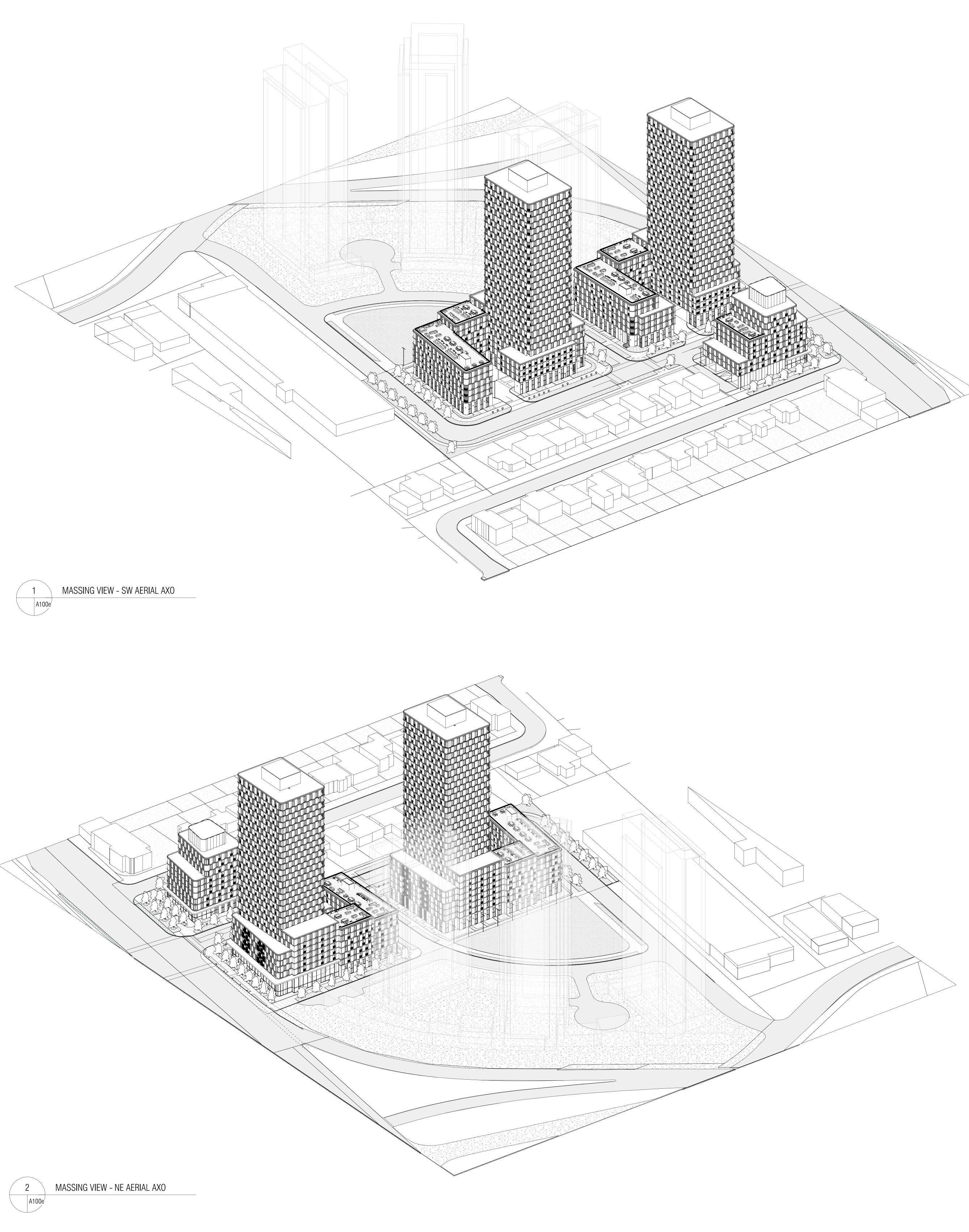
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5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction. These documents are not to be used for construction unless specifically noted for such purpose.

required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work. 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultants' documents with respect to the quantity, sizes or scope of work, the greater shall apply.
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# A100e

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# **MASSING VIEW**

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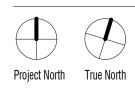
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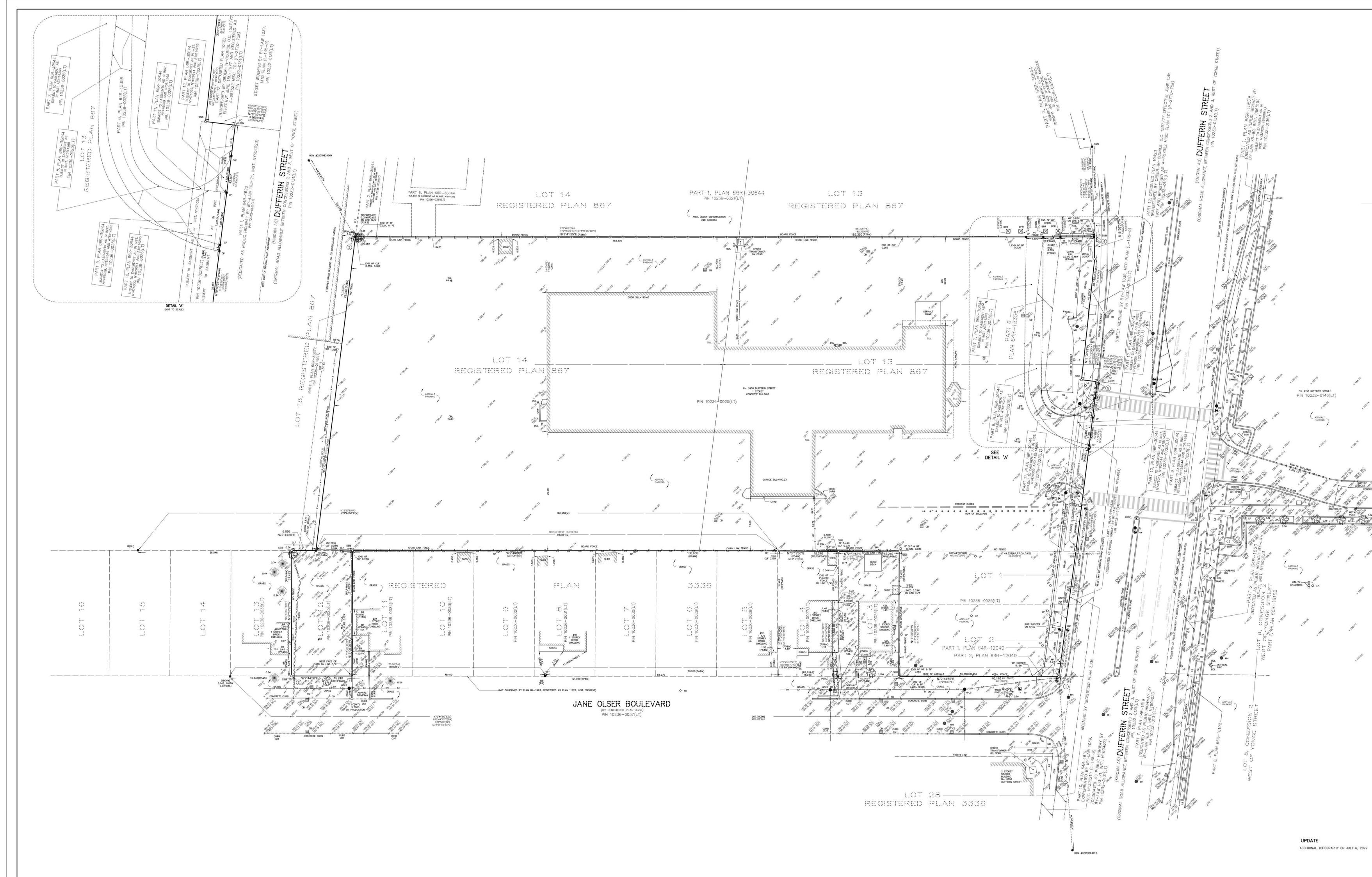
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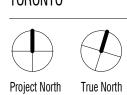




#### A101

# SURVEY

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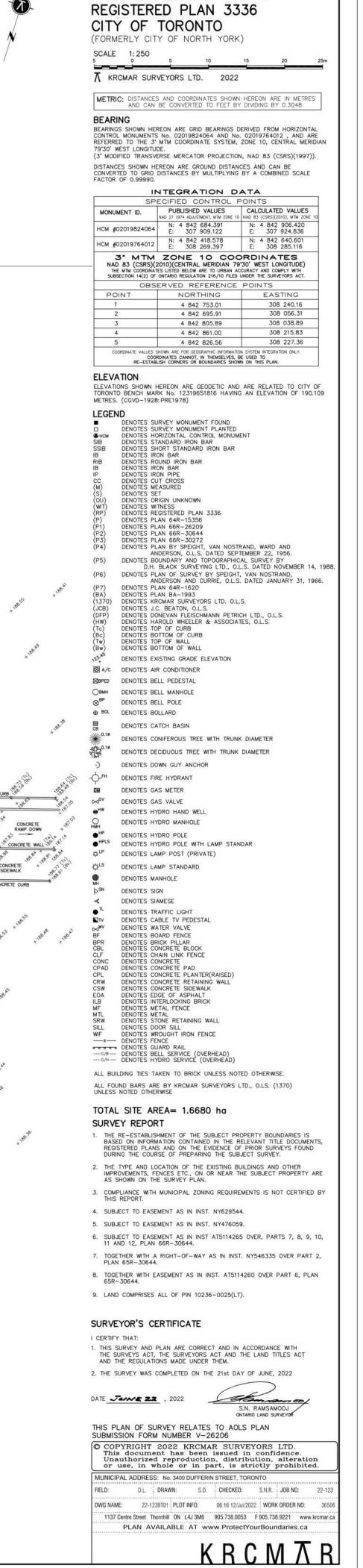








1 Aug. 9 2022 ISSUE FOR ZBA & SPA



PLAN OF SURVEY SHOWING TOPOGRAPHICAL INFORMATION OF

PART OF LOTS 13 AND 14

PART OF LOTS 1 AND 2

REGISTERED PLAN 867

LOT 12 AND

NOTE: SURVEY SHEET NOT TO SCALE

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discrepancies with the Contract Documents to the difference between the Consultants' documents with respect to the quantity, sizes or scope of work, the greater shall apply. 3. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated

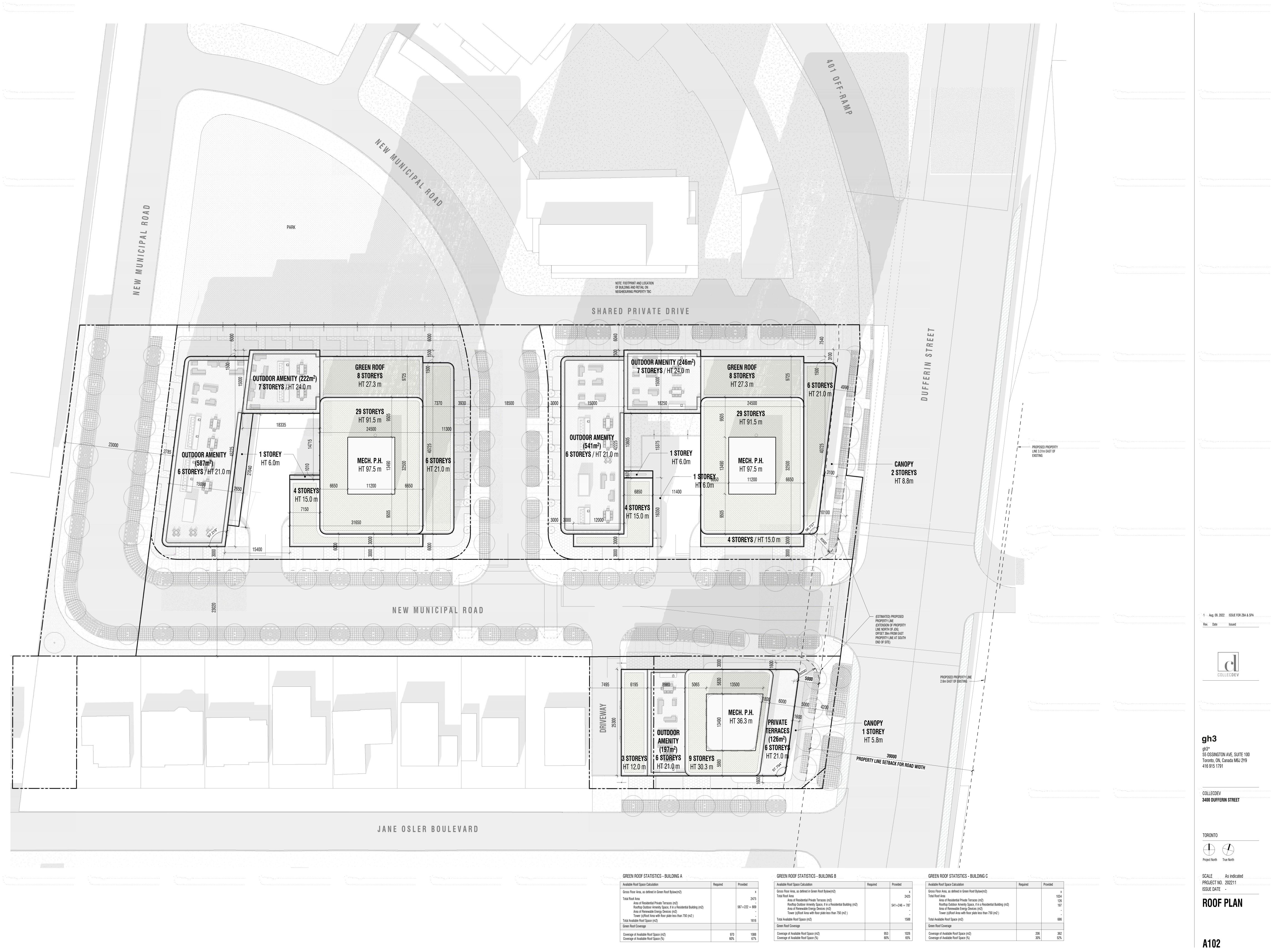
on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over

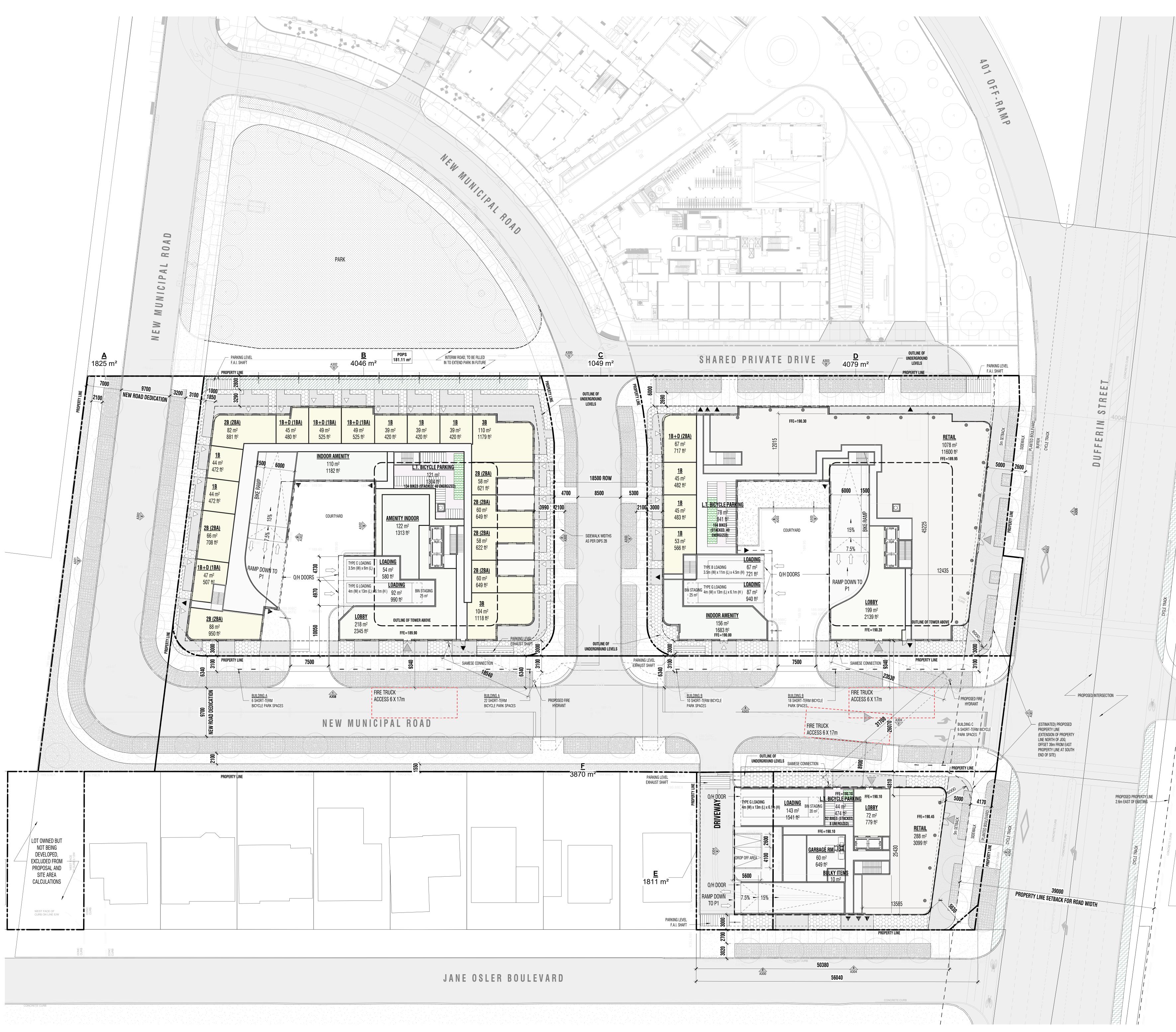
and Electrical items not clearly located will be located as directed by the Architect.

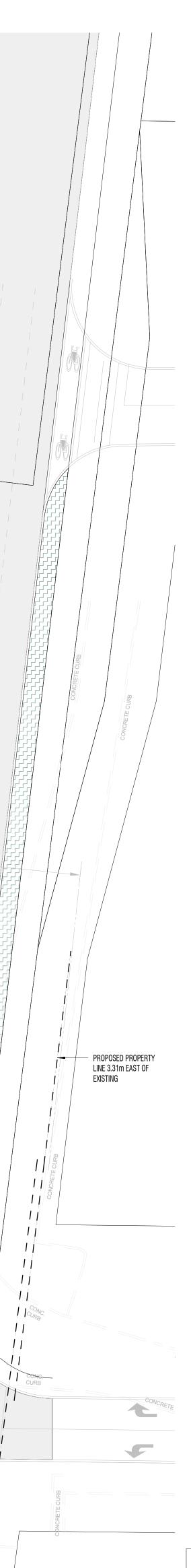
purpose.

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Mechanical and Electrical Drawings. Mechanical







#### <u>SITE PLAN LEGEND</u>

PROPOSED ELEVATION +XXX.XX XXX.XX EX EXISTING ELEVATION XXX.XX AD AREA DRAINAGE XXX.XX SW STORM WATER XXX.XX CB CATCH BASIN SETBACK - - - - - - - - FIRE TRUCK ROUTE EXIT 🖙 🔆 Street light ∎ • BOLLARDS \_ \_ \_ \_ \_ 📿 🗕 BIKE RING

PARKING STRUCTURE BELOW DESIGNATED P.O.P.S. AREA RESIDENTIAL RESIDENTIAL LOBBY RESIDENTIAL INDOOR AMENITY COMMERCIAL **BICYCLE STORAGE** MAIN RES ENTRANCE △ RES ENTRANCE NON-RES ENTRANCE VEHICULAR ENTRANCE/EXIT SIAMESE CONNECTION PEDESTRIAN LIGHT ⊗ BOLLARD LIGHT 0 0 0 0 BICYCLE SHARING STATION PROPOSED CANOPY TREE EXISTING TREE EXISTING TREE TO BE PROTECTED ⊙ \* GRASSES AND SHRUBS HIGH-ALBEDO PAVERS SRI VALUE : 29 OR BETTER CONCRETE PAVING SRI VALUE : 29 OR BETTER CONCRETE PAVING SRI VALUE : 29 OR BETTER

BICYCLE LANE BLACK MULCH RUBBERIZED PAVING WOOD DECKING SRI VALUE : 29 OR BETTER 

REFER TO LANDSCAPE PLAN FOR HARDSCAPE AND PLANTING DETAILS

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#### <u>NOTES</u>

- A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVAL AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- TYPE G LOADING 6.1m MINIMUM VERTICAL CLEARANCE. MINIMUM 200mm THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA. FLOOR GRADE NOT TO EXCEED +/-2%
- THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FORM THE TYPE
- G LOADING AREA ENABLING IT TO EXIT THE SITE IN A FORWARD MOTION. A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING
- THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING. SYSTEM TO INCLUDE LIGHTS AND SIGNS.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE TO HAVE A MAXIMUM GRADIENT OF 8%, HAVE A MINIMUM VERTICAL CLEARANCEOF 4.4 METERS THROUGHOUT, A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND BE 6 METERS WIDE AT POINT OF INGRESS AND EGRESS.
- PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4M VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000 KG.
- STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS: (A) DESIGN CODE -ONTARIO BUILDING CODE (B) DESIGN LOAD -CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS (C) IMPACT FACTOR -5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- 4-FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER , APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL VENTILATION GRATING TO HAVE A POROSITY OF LESS THAN 20mm X 20mm OR

40mm X 10mm

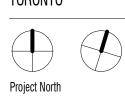


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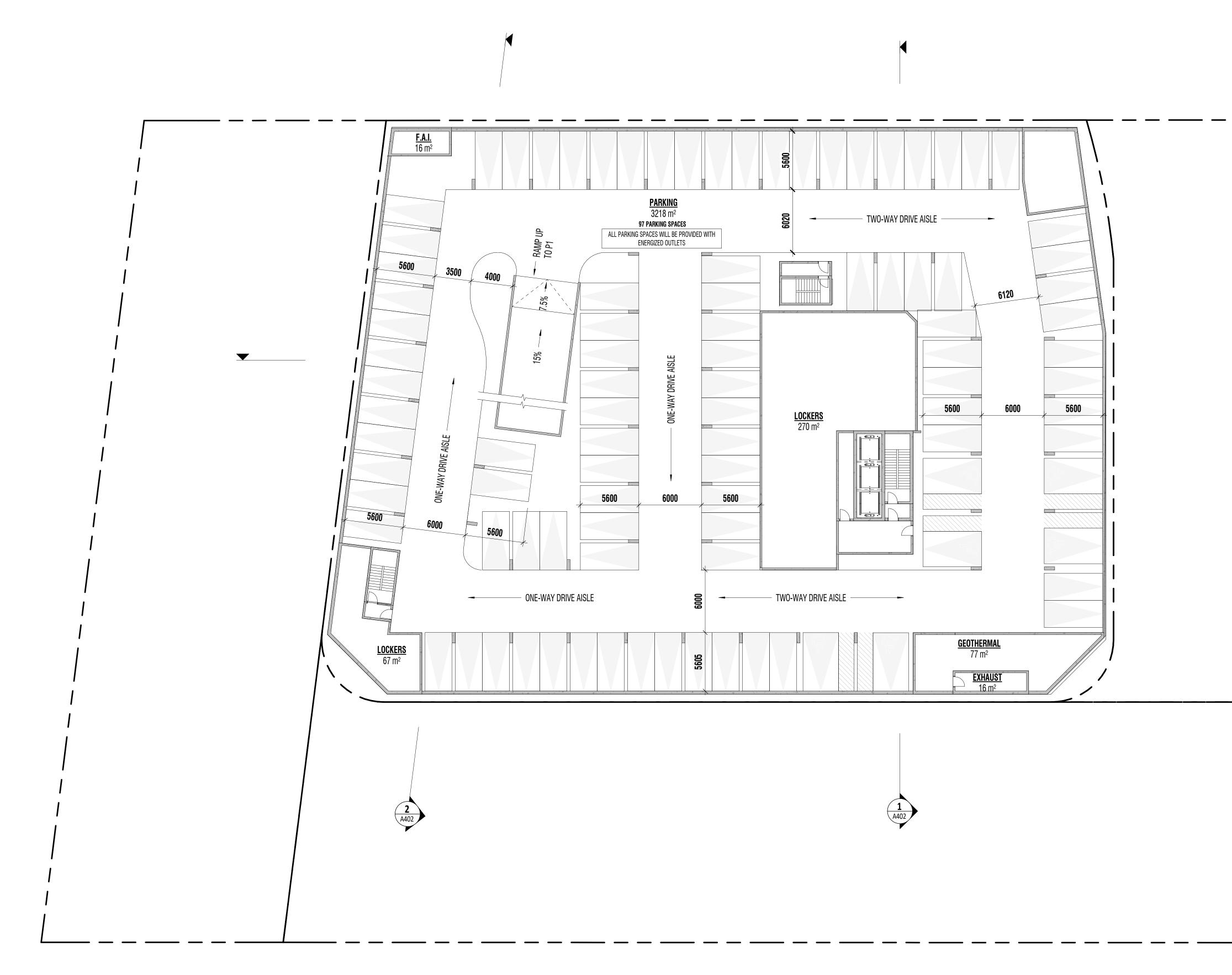
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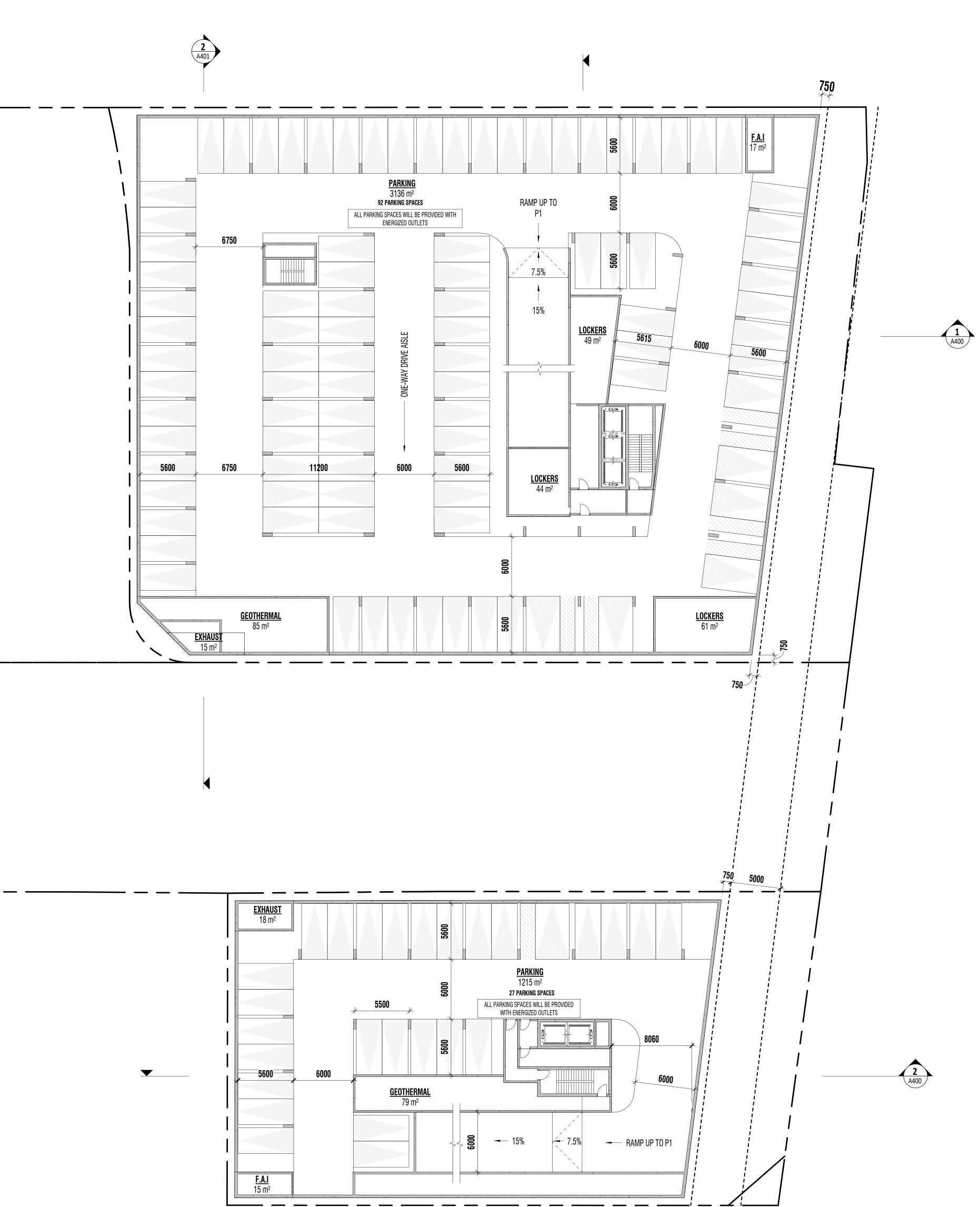


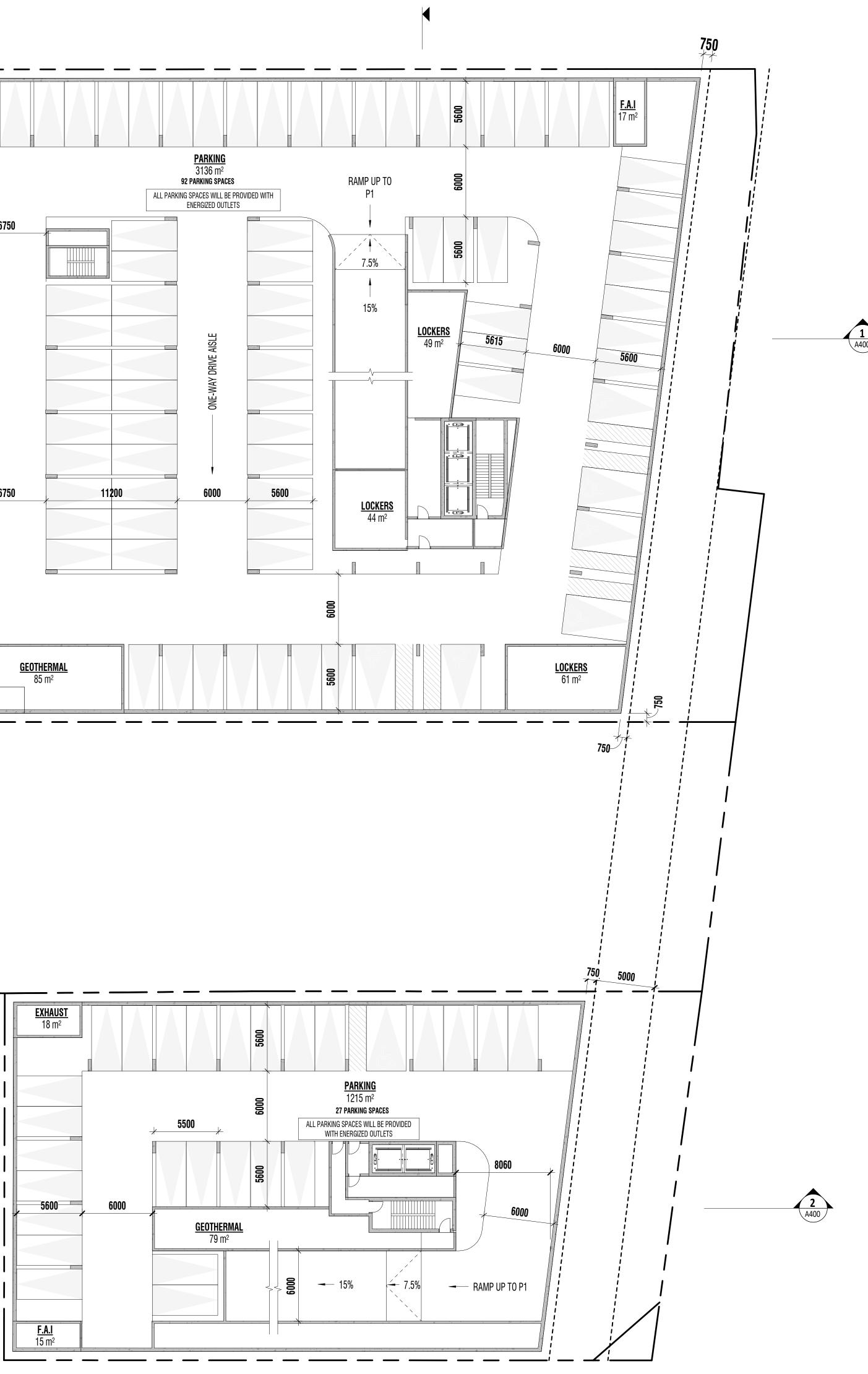
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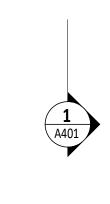
#### **GROUND FLOOR SITE PLAN**



			5.1 CAR I	PARKING			
	Residential Car Parking			Visitor Car Parking			
Level	Regular	BF	Total	Regular	BF	Total	Total Car Parking
BUILDING A							
P1	36	0	36	36	3	39	75
P2	89	6	95	0	0	0	95
	125	6	131	36	3	39	170
<b>BUILDING B</b>							
P1	35	0	35	35	2	37	72
P2	86	6	92	0	0	0	92
	121	6	127	35	2	37	164
BUILDING C							
P1	15	0	15	0	1	1	16
P2	26	1	27	0	0	0	27
	41	1	42	0	1	1	43
TOTAL	287	13	300	71	6	77	377







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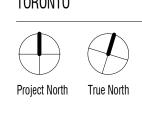
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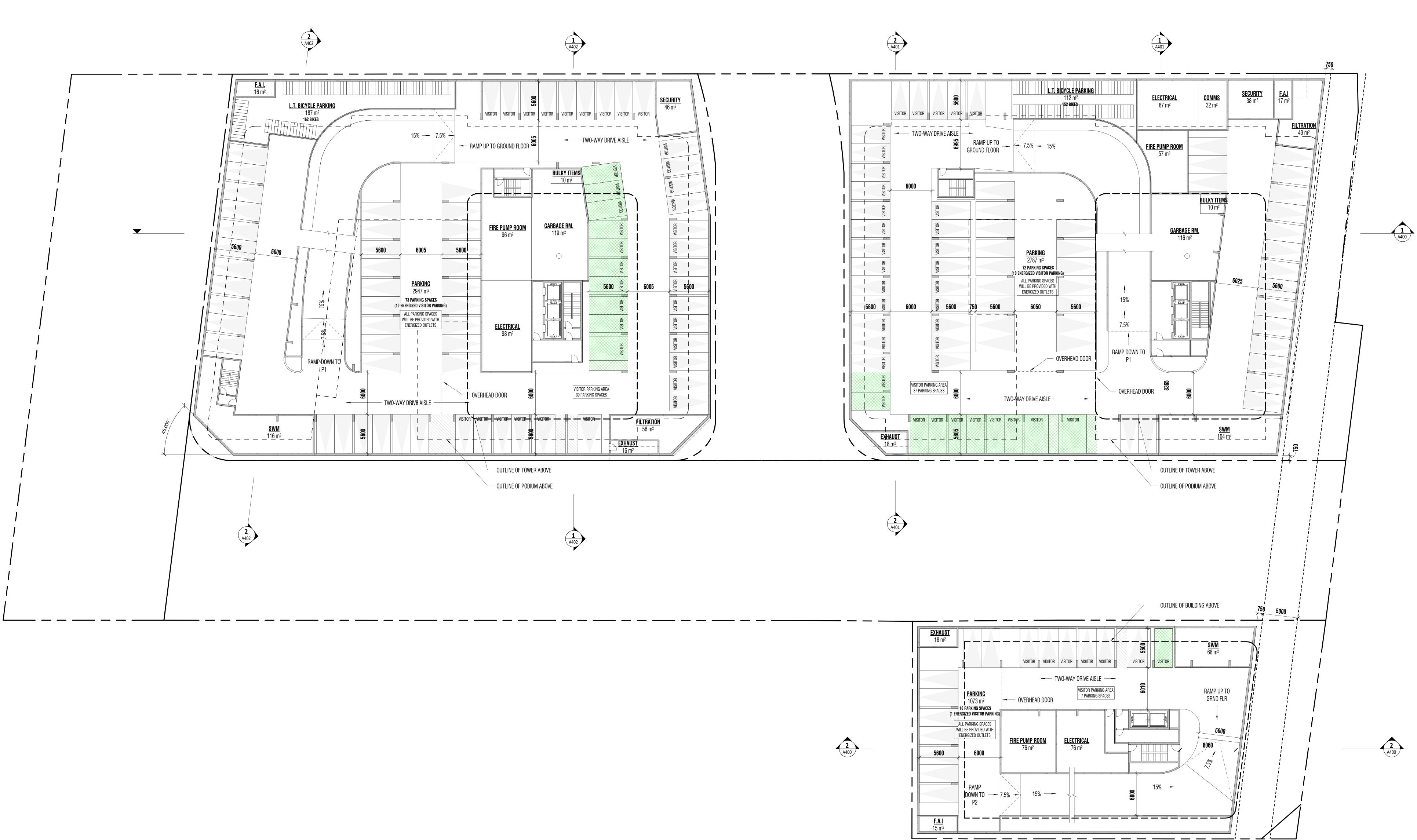
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LEVEL P2 Floor plan



			5.1 CAR I	PARKING			
	Residential Car Parking			Visitor Car Parking			
Level	Regular	BF	Total	Regular	BF	Total	Total Car Parking
BUILDING A							
P1	36	0	36	36	3	39	75
P2	89	6	95	0	0	0	95
	125	6	131	36	3	39	170
<b>BUILDING B</b>							
P1	35	0	35	35	2	37	72
P2	86	6	92	0	0	0	92
	121	6	127	35	2	37	164
<b>BUILDING C</b>							
P1	15	0	15	0	1	1	16
P2	26	1	27	0	0	0	27
	41	1	42	0	1	1	43
TOTAL	287	13	300	71	6	77	377

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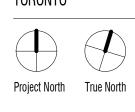
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LEVEL P1 **FLOOR PLAN**