



# 3400 DUFFERIN STREET

## APPLICATION FOR ZONING BY-LAW AMENDMENT

### PROJECT TEAM

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**STRUCTURAL**  
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**MECHANICAL & ELECTRICAL**  
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### ARCHITECTURAL SHEET LIST

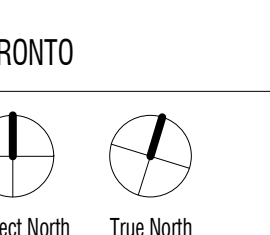
Sheet	Drawing Name	Current Revision
<b>A000 PROJECT INFORMATION</b>		
A000	COVER SHEET	
A001	STATISTICS	
<b>A100 SITE</b>		
A100	CONTEXT PLAN	
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A100b	PERSPECTIVES	
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A201	LEVEL 2 FLOOR PLAN	
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A309	BUILDING A BIRD FRIENDLY DIAGRAMS	
A310	BUILDING B BIRD FRIENDLY DIAGRAMS	
A311	BUILDING C BIRD FRIENDLY DIAGRAMS	
<b>A400 SECTIONS</b>		
A400	SITE SECTIONS	
A401	SITE SECTIONS	
A402	SITE SECTIONS	
<b>A600 SHADOW STUDIES</b>		
A601	SHADOW STUDIES - MAR./SEPT.	
A602	SHADOW STUDIES - MAR./SEPT.	
A603	SHADOW STUDIES - JUNE	
A604	SHADOW STUDIES - JUNE	
A605	SHADOW STUDIES - DEC.	
A606	SHADOW STUDIES - DEC.	
<b>A1000 ZBA 569-2013 AREA PLANS</b>		
A1000	ZBA 569-2013 AREA PLANS	
A1001	ZBA 569-2013 AREA PLANS	

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**COVER SHEET**

**A000**





PROPERTY PARTS		
PARTS	AREA	COMMENTS
A	1825 m <sup>2</sup>	CONVEYANCE
B	4046 m <sup>2</sup>	BUILDING A
C	1049 m <sup>2</sup>	CONVEYANCE
D	4079 m <sup>2</sup>	BUILDING B
E	1811 m <sup>2</sup>	BUILDING C
F	3870 m <sup>2</sup>	CONVEYANCE
16680 m <sup>2</sup>		

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**CONTEXT PLAN**



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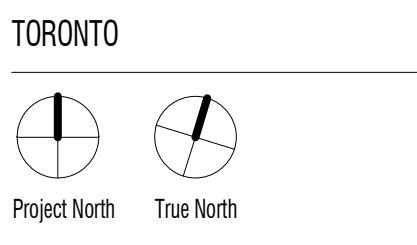
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3. Functions of approved or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
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**PERSPECTIVES**



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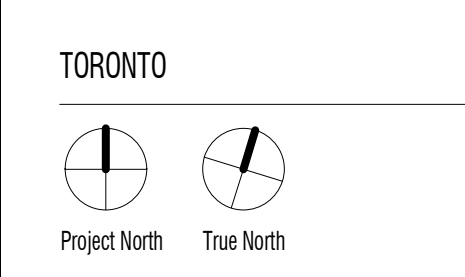
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**PERSPECTIVES**

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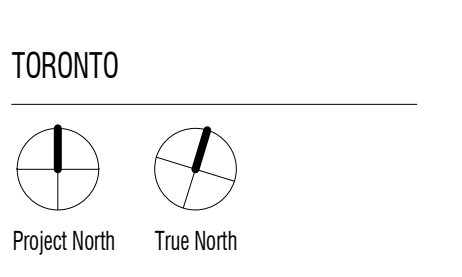
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**PERSPECTIVES**

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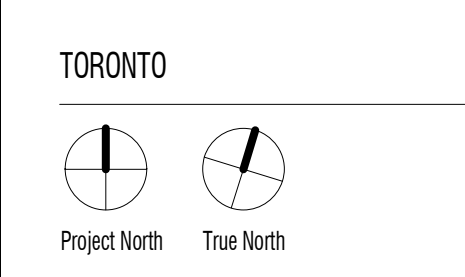
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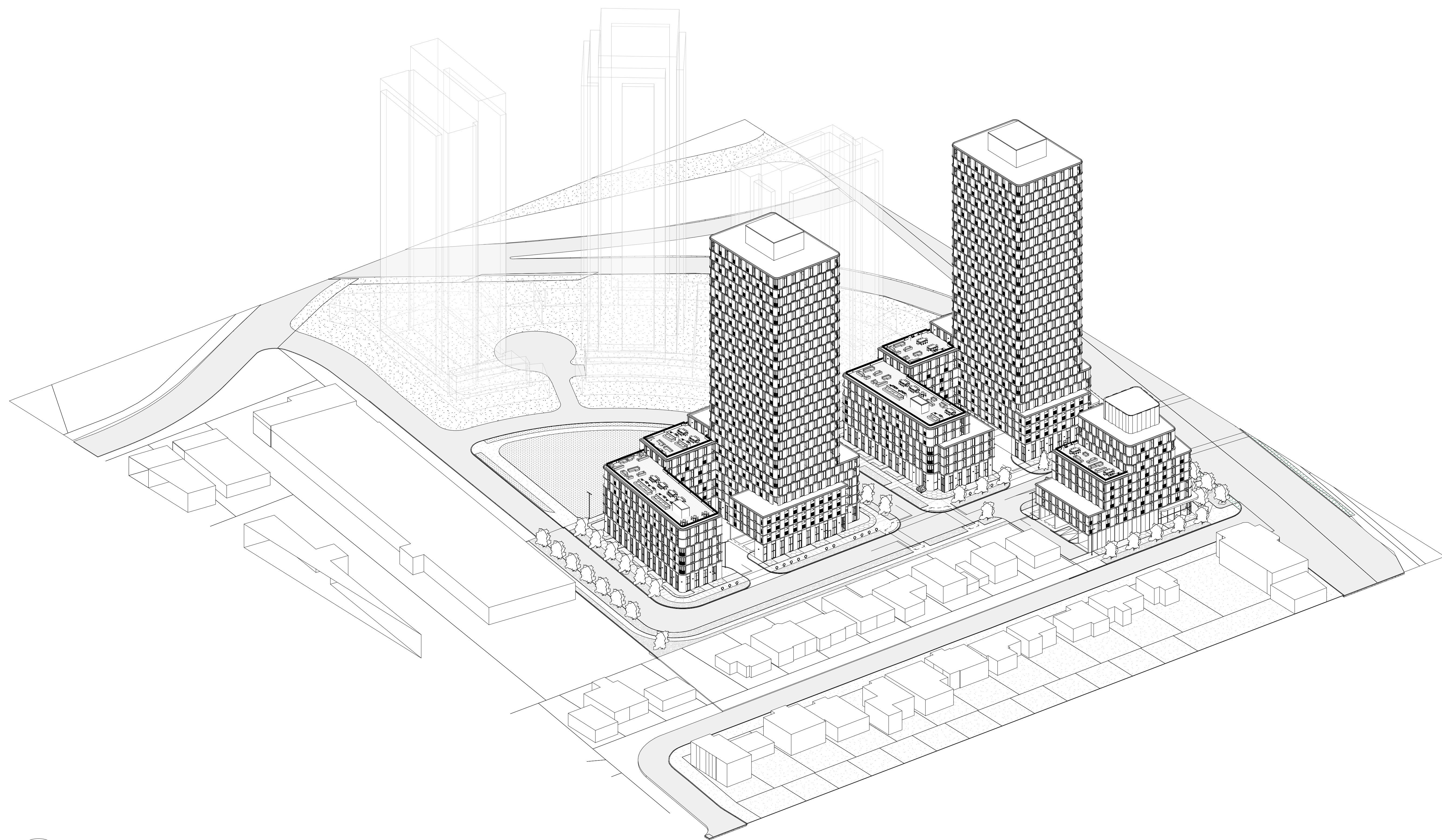
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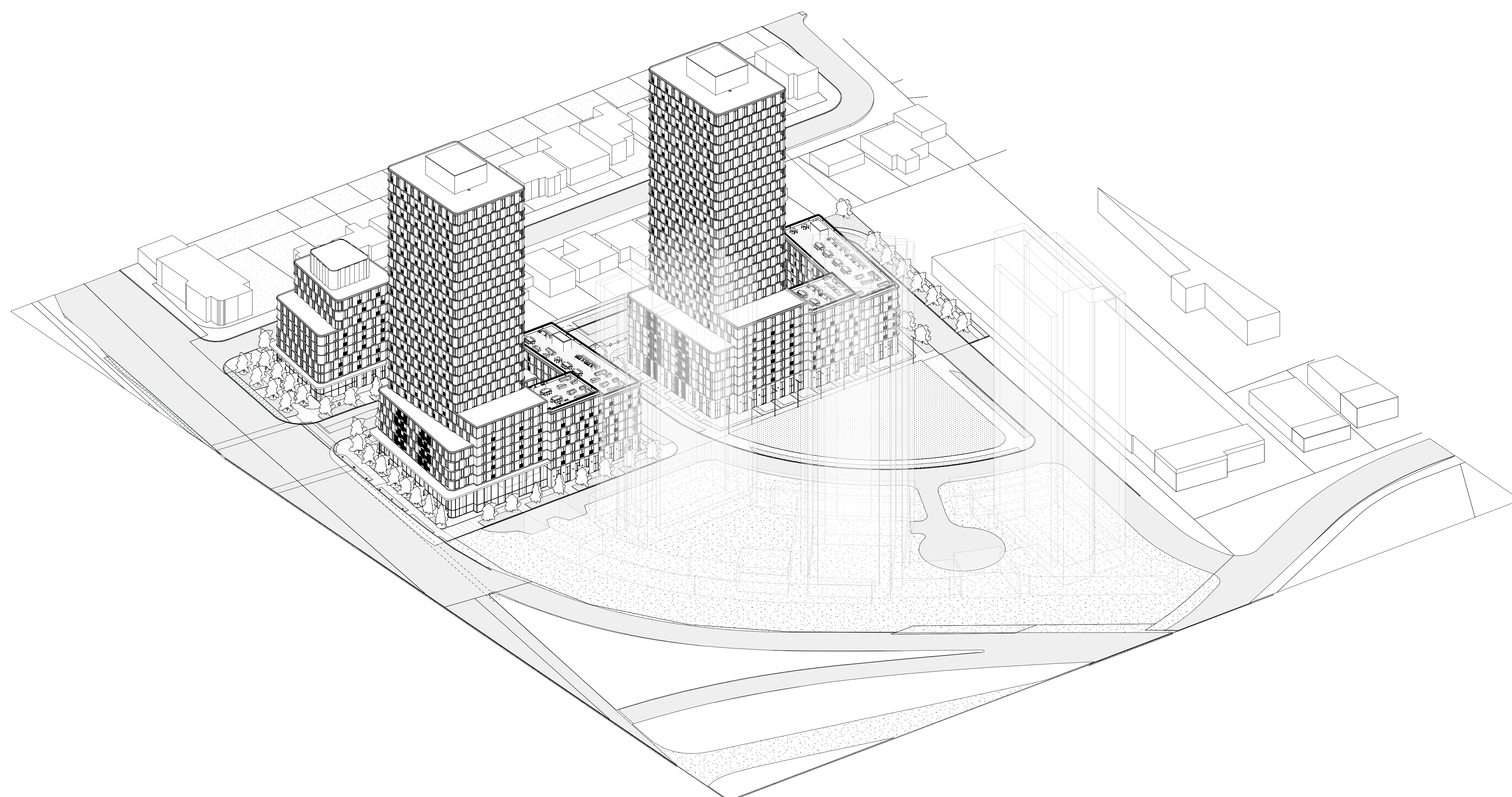
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**PERSPECTIVES**

**A100d**



1 MASSING VIEW - SW AERIAL AXO  
A100e



2 MASSING VIEW - NE AERIAL AXO  
A100e

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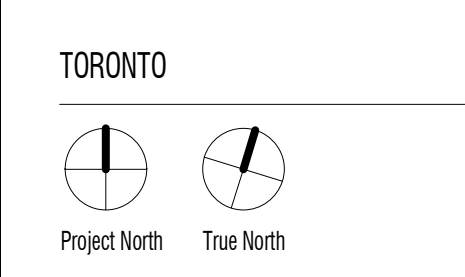
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**MASSING VIEW**

A100e

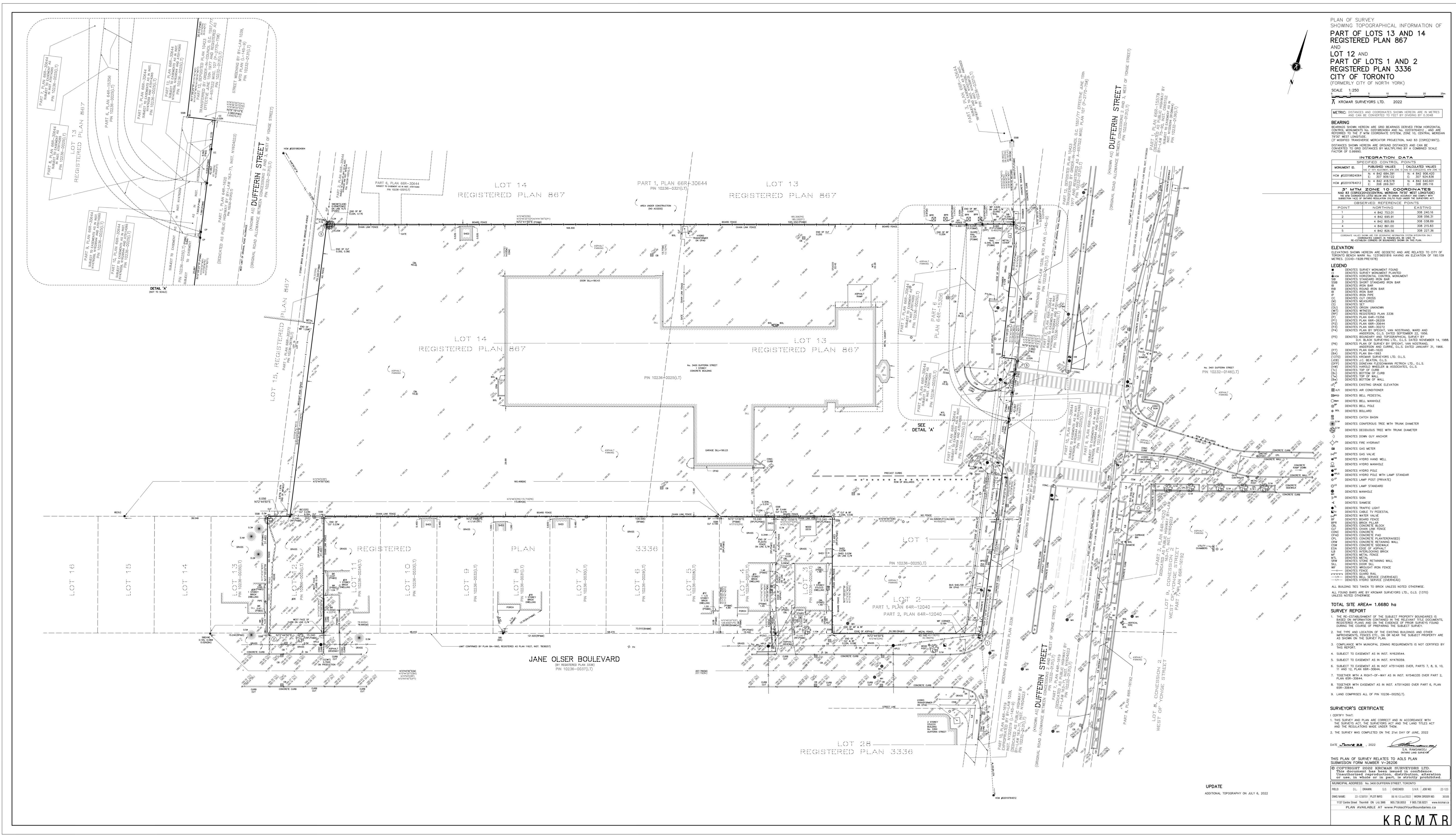


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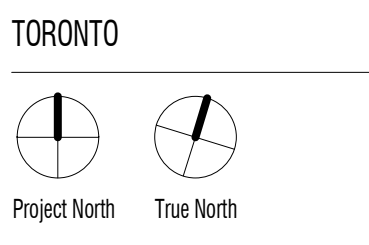
NOTE: SURVEY SHEET NOT TO SCALE

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**SURVEY**

A101



NOTE: FOOTPRINT AND LOCATION OF BUILDING AND METAL ON NEIGHBOURING PROPERTY TO BE

SHARED PRIVATE DRIVE

401 OFF-RAMP

NEW MUNICIPAL ROAD

NEW MUNICIPAL ROAD

PARK

DUFFERIN STREET

NEW MUNICIPAL ROAD

JANE OSLER BOULEVARD

GREEN ROOF STATISTICS - BUILDING A

Available Roof Space Calculation	Required	Provided
Gross Floor Area, as defined in Green Roof Bylaw(m <sup>2</sup> )		x
Total Roof Area	2475	1534
Area of Residential Private Terraces (m <sup>2</sup> )	-	129
Roofing Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	587+222 = 809	-
Area of Renewable Energy Devices (m <sup>2</sup> )	-	-
Tower (Roof Area with floor plate less than 750 (m <sup>2</sup> ))	-	-
Total Available Roof Space (m <sup>2</sup> )		1616
Green Roof Coverage		
Coverage of Available Roof Space (m <sup>2</sup> )	970	1088
Coverage of Available Roof Space (%)	68%	67%

GREEN ROOF STATISTICS - BUILDING B

Available Roof Space Calculation	Required	Provided
Gross Floor Area, as defined in Green Roof Bylaw(m <sup>2</sup> )		x
Total Roof Area	2475	1534
Area of Residential Private Terraces (m <sup>2</sup> )	-	129
Roofing Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	541+246 = 787	-
Area of Renewable Energy Devices (m <sup>2</sup> )	-	-
Tower (Roof Area with floor plate less than 750 (m <sup>2</sup> ))	-	-
Total Available Roof Space (m <sup>2</sup> )		1588
Green Roof Coverage		
Coverage of Available Roof Space (m <sup>2</sup> )	953	1026
Coverage of Available Roof Space (%)	65%	65%

GREEN ROOF STATISTICS - BUILDING C

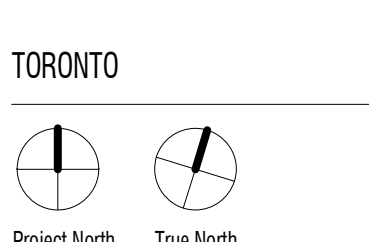
Available Roof Space Calculation	Required	Provided
Gross Floor Area, as defined in Green Roof Bylaw(m <sup>2</sup> )		x
Total Roof Area	2475	1534
Area of Residential Private Terraces (m <sup>2</sup> )	-	129
Roofing Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	-	-
Area of Renewable Energy Devices (m <sup>2</sup> )	-	-
Tower (Roof Area with floor plate less than 750 (m <sup>2</sup> ))	-	-
Total Available Roof Space (m <sup>2</sup> )		686
Green Roof Coverage		
Coverage of Available Roof Space (m <sup>2</sup> )	296	362
Coverage of Available Roof Space (%)	30%	53%

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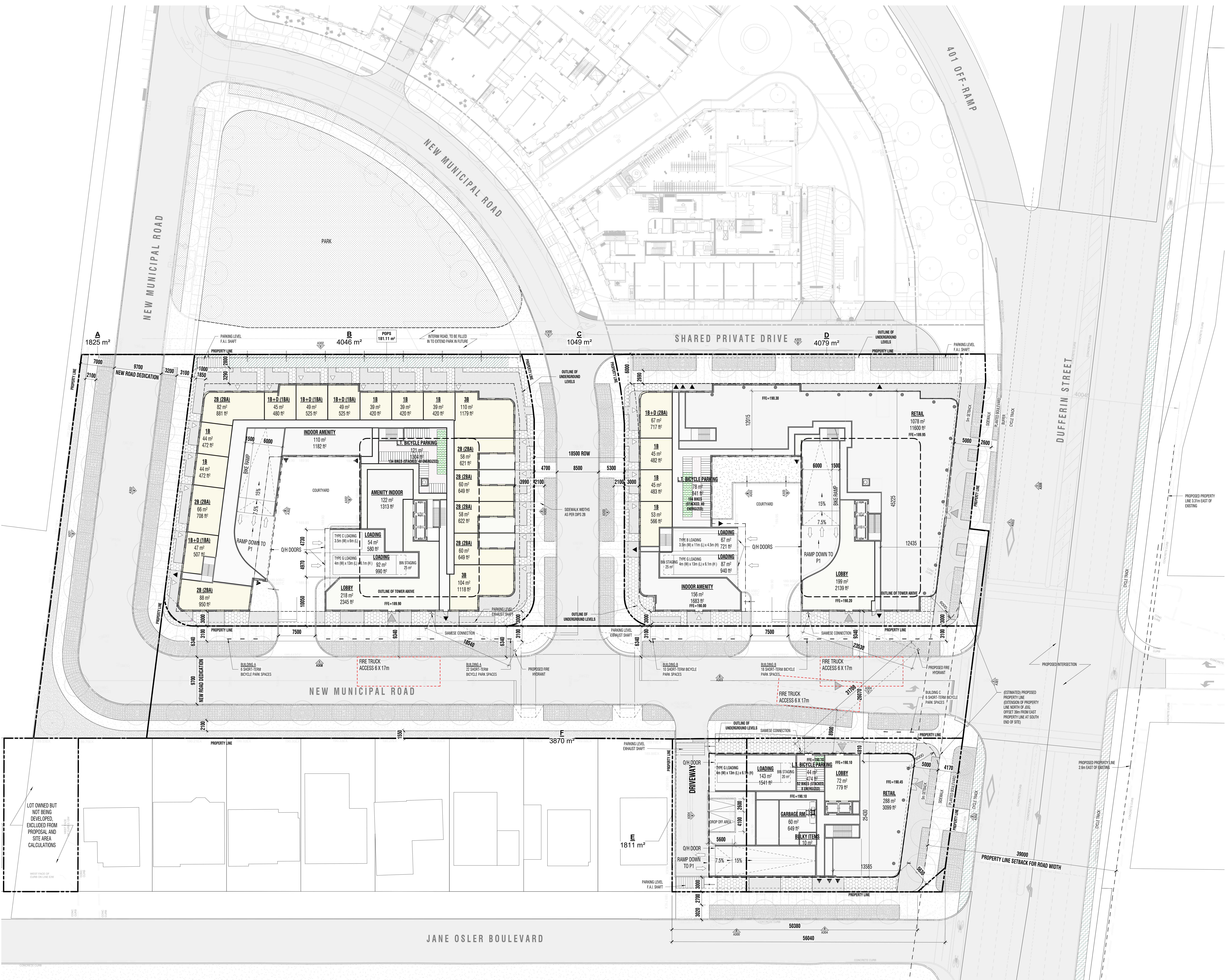
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ROOF PLAN



**SITE PLAN LEGEND**

- XXXXX PROPOSED ELEVATION
- XXXXX EX EXISTING ELEVATION
- XXXXX AD AREA DRAINAGE
- XXXXX SW STORM WATER
- XXXXX CB CATCH BASIN
- — — — — PROPERTY LINE
- — — — — SETBACK
- - - - - FIRE TRUCK ROUTE
- - - - - PARKING STRUCTURE BELOW
- ▨ DESIGNATED P.O.P.S. AREA
- ▨ RESIDENTIAL
- ▨ RESIDENTIAL LOBBY
- ▨ RESIDENTIAL INDOOR AMENITY
- ▨ COMMERCIAL
- ▨ BICYCLE STORAGE
- ▲ MAIN RES ENTRANCE
- ▲ RES ENTRANCE
- ▲ NON-RES ENTRANCE
- ▲ EXIT
- ↑ VEHICULAR ENTRANCE/EXIT
- FIRE HYDRANT
- SHAWMEE CONNECTION
- STREET LIGHT
- PEDESTRIAN LIGHT
- BOLLARD LIGHT
- BOLLARDS
- BICYCLE SHARING STATION
- BIKE RING
- PROPOSED CANOPY TREE
- EXISTING TREE
- EXISTING TREE TO BE PROTECTED
- PROPOSED UNDERSTOREY TREE
- GRASSES AND SHRUBS
- ▨ HIGH-ALBEDO PAVERS
- ▨ SR VALVE - 29 OR BETTER
- ▨ CONCRETE PAVING
- ▨ SR VALVE - 29 OR BETTER
- ▨ CONCRETE PAVING
- ▨ SR VALVE - 29 OR BETTER
- ▨ BICYCLE LANE
- ▨ SOD
- ▨ BLACK MULCH
- ▨ RUBBERIZED PAVING
- ▨ WOOD DOCKING SR VALVE - 29 OR BETTER
- ▨ ARTIFICIAL TURF GRASS / DOG RELIEF AREA

**NOTES**

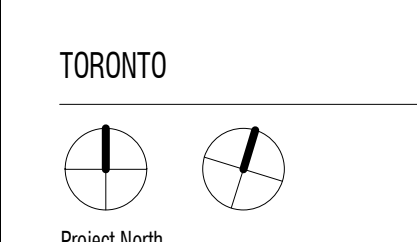
- A TRUCKED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANEUVER BIKES FOR THE COLLECTION SERVICE AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSEING IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE. THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- TYPE G LOADING & 1m MINIMUM VERTICAL CLEARANCE MINIMUM 200mm THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA. FLOOR GRADE NOT TO EXCEED +2%
- THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FROM THE TYPE G LOADING AREA PARALLEL TO THE SITE IN A FORWARD MOTION.
- A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING. SYSTEM TO INCLUDE LIGHTS AND SIGNS.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE TO HAVE A MAXIMUM GRADIENT OF 8% WITH A MINIMUM VERTICAL CLEARANCE OF 4.4 METERS THROUGHOUT. A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND BE 6 METERS WIDE AT POINT OF ADDRESS AND ENDS.
- PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4M VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000 KG.
- STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS:  
 (A) DESIGN CODE: ONTARIO BUILDING CODE  
 (B) DESIGN LOAD: CITY BULK LIFT TRUCKS IN ADDITION TO BUILDING CODE REQUIREMENTS  
 (C) IMPACT FACTOR: 5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- 4-FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE. CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m. LOAD SUPPORT SUFFICIENT FOR EQUIPMENT. SURFACE TO BE ACCESSIBLE IN ALL CLIMATE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT - PATH SHOWN FOR CONTEXT.
- FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE. CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m. LOAD SUPPORT SUFFICIENT FOR EQUIPMENT. SURFACE TO BE ACCESSIBLE IN ALL CLIMATE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT - PATH SHOWN FOR CONTEXT.
- BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION (CONDOMINIUMS) OR ANY OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES INCLUDING BUT NOT LIMITED TO ASSESSMENTS WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.
- VENTILATION GRATING TO HAVE A POROSITY OF LESS THAN 20mm X 20mm OR 40mm X 10mm

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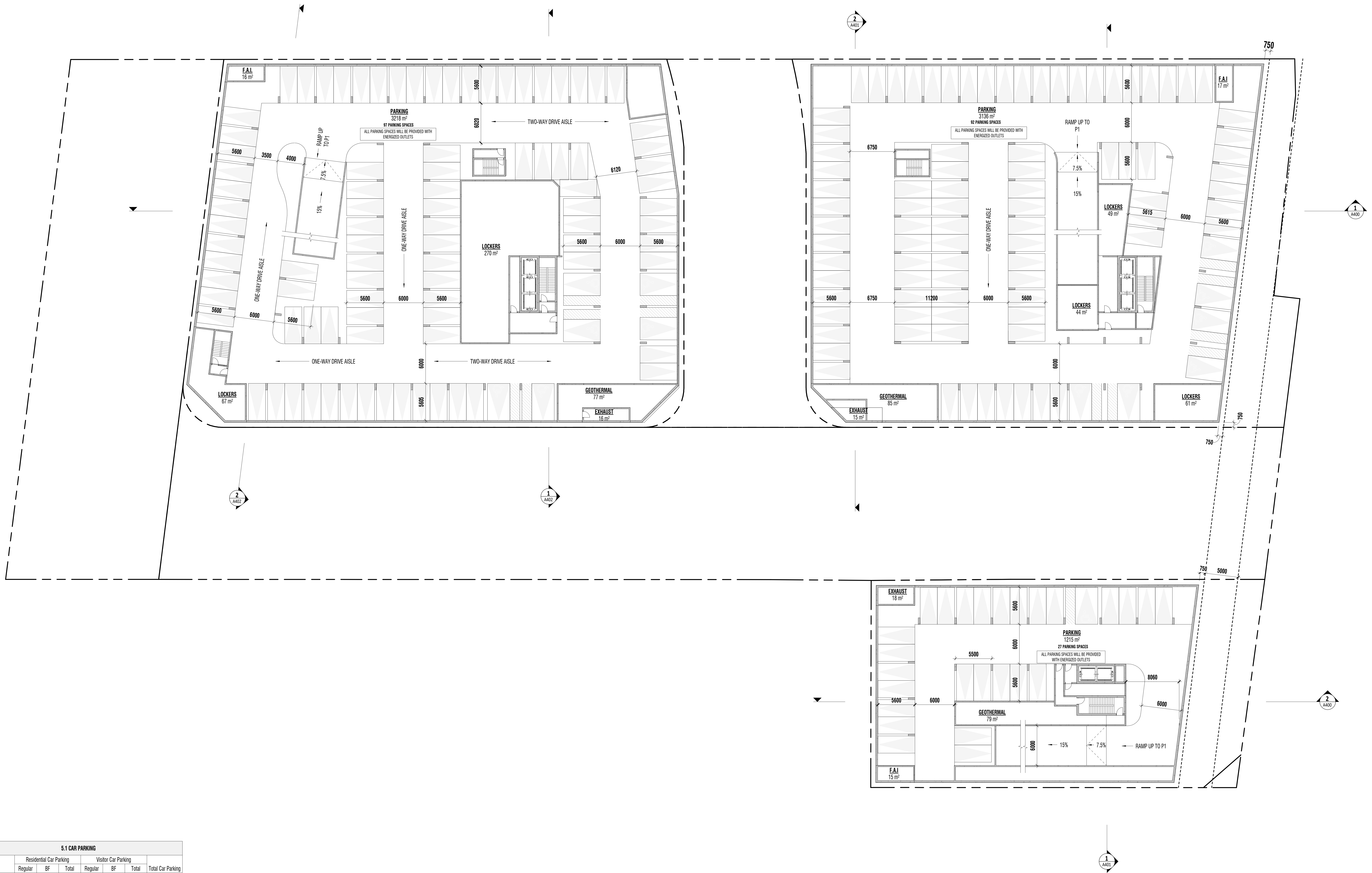
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**GROUND FLOOR SITE PLAN**

A103



S.1 CAR PARKING							
Level	Residential Car Parking			Visitor Car Parking			Total Car Parking
	Regular	BF	Total	Regular	BF	Total	
<b>BUILDING A</b>							
P1	36	0	36	36	3	39	75
P2	89	6	95	0	0	0	95
	125	6	131	36	3	39	170
<b>BUILDING B</b>							
P1	35	0	35	35	2	37	72
P2	86	6	92	0	0	0	92
	121	6	127	35	2	37	164
<b>BUILDING C</b>							
P1	15	0	15	0	1	1	16
P2	26	1	27	0	0	0	27
	41	1	42	0	1	1	43
<b>TOTAL</b>	<b>287</b>	<b>13</b>	<b>300</b>	<b>71</b>	<b>6</b>	<b>77</b>	<b>377</b>

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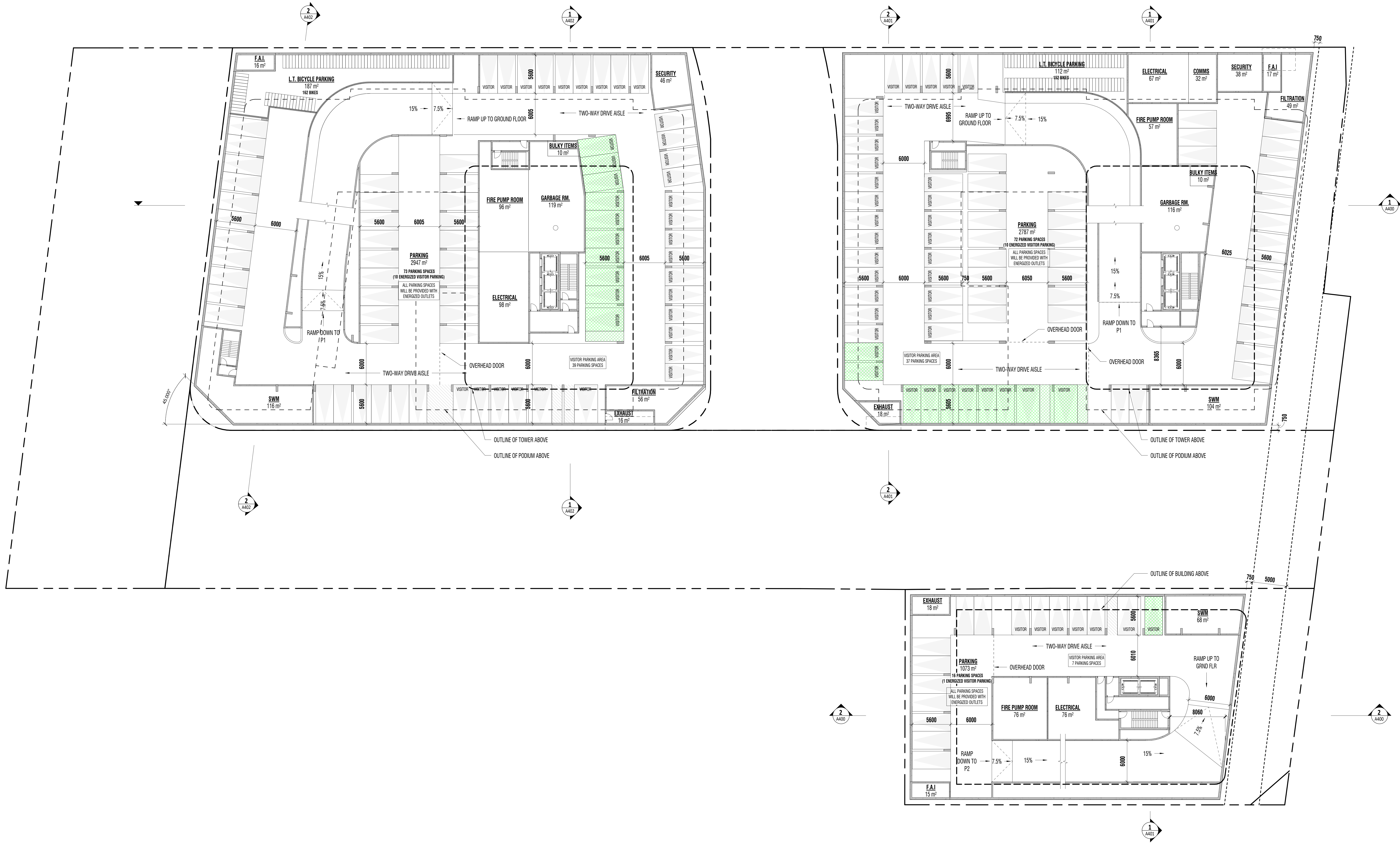
**gh3**  
 gh3\*  
 55 OSSINGTON AVE, SUITE 100  
 TORONTO, ON, CANADA M5J 2Y9  
 416-915-1791

COLLECTEV  
 3400 DUFFERIN STREET

TORONTO  
 Project North True North

SCALE 1:200  
 PROJECT NO. 202211  
 ISSUE DATE

**LEVEL P2  
 FLOOR PLAN**



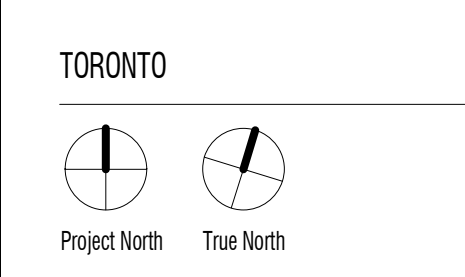
5.1 CAR PARKING						
Level	Residential Car Parking			Visitor Car Parking		
	Regular	BF	Total	Regular	BF	Total
<b>BUILDING A</b>						
P1	36	0	36	36	3	39
P2	89	6	95	0	0	95
<b>TOTAL</b>	<b>125</b>	<b>6</b>	<b>131</b>	<b>36</b>	<b>3</b>	<b>39</b>
<b>BUILDING B</b>						
P1	35	0	35	35	2	37
P2	86	6	92	0	0	92
<b>TOTAL</b>	<b>121</b>	<b>6</b>	<b>127</b>	<b>35</b>	<b>2</b>	<b>37</b>
<b>BUILDING C</b>						
P1	15	0	15	0	1	16
P2	26	1	27	0	0	27
<b>TOTAL</b>	<b>41</b>	<b>1</b>	<b>42</b>	<b>0</b>	<b>1</b>	<b>43</b>
<b>TOTAL</b>	<b>287</b>	<b>13</b>	<b>300</b>	<b>71</b>	<b>6</b>	<b>77</b>

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**LEVEL P1  
 FLOOR PLAN**